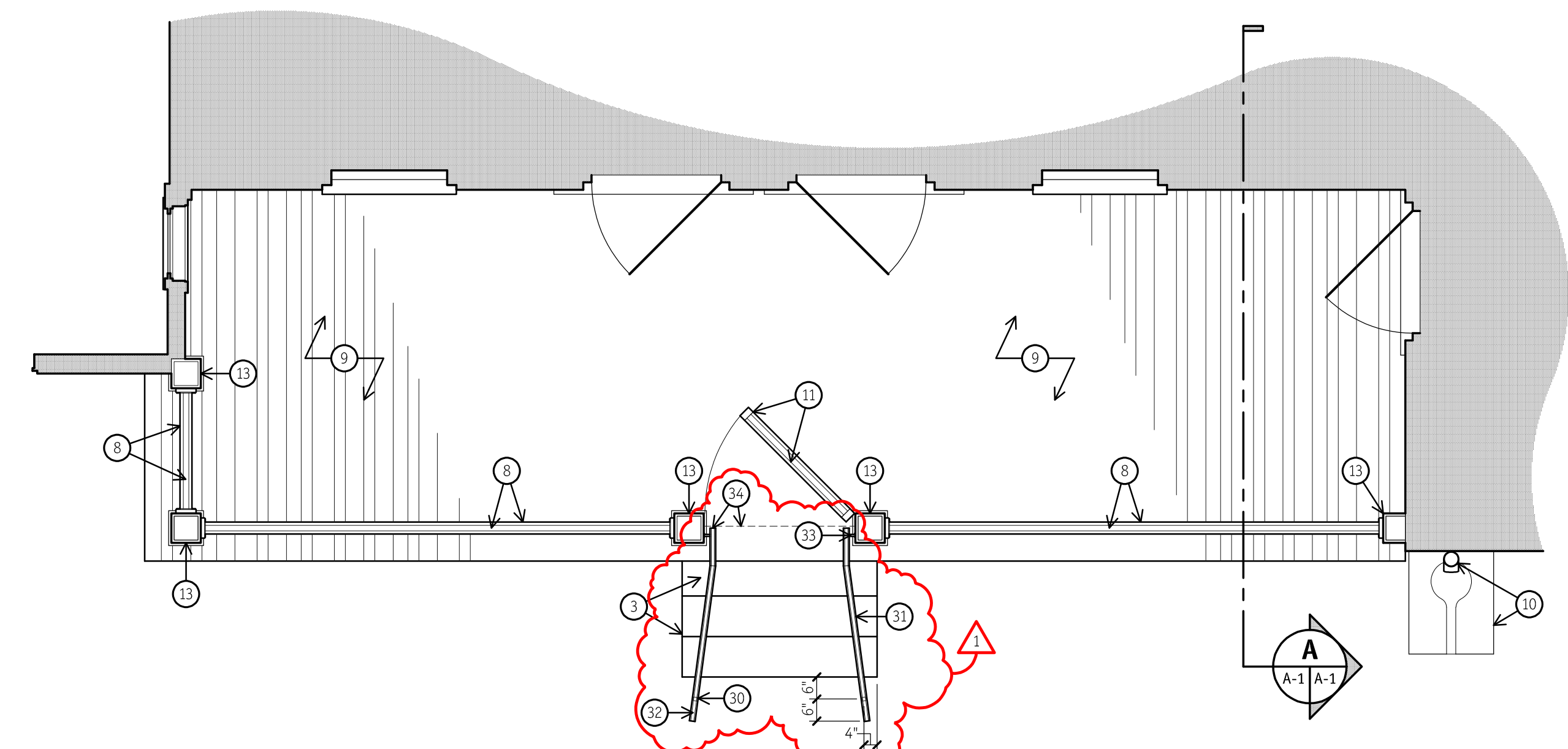
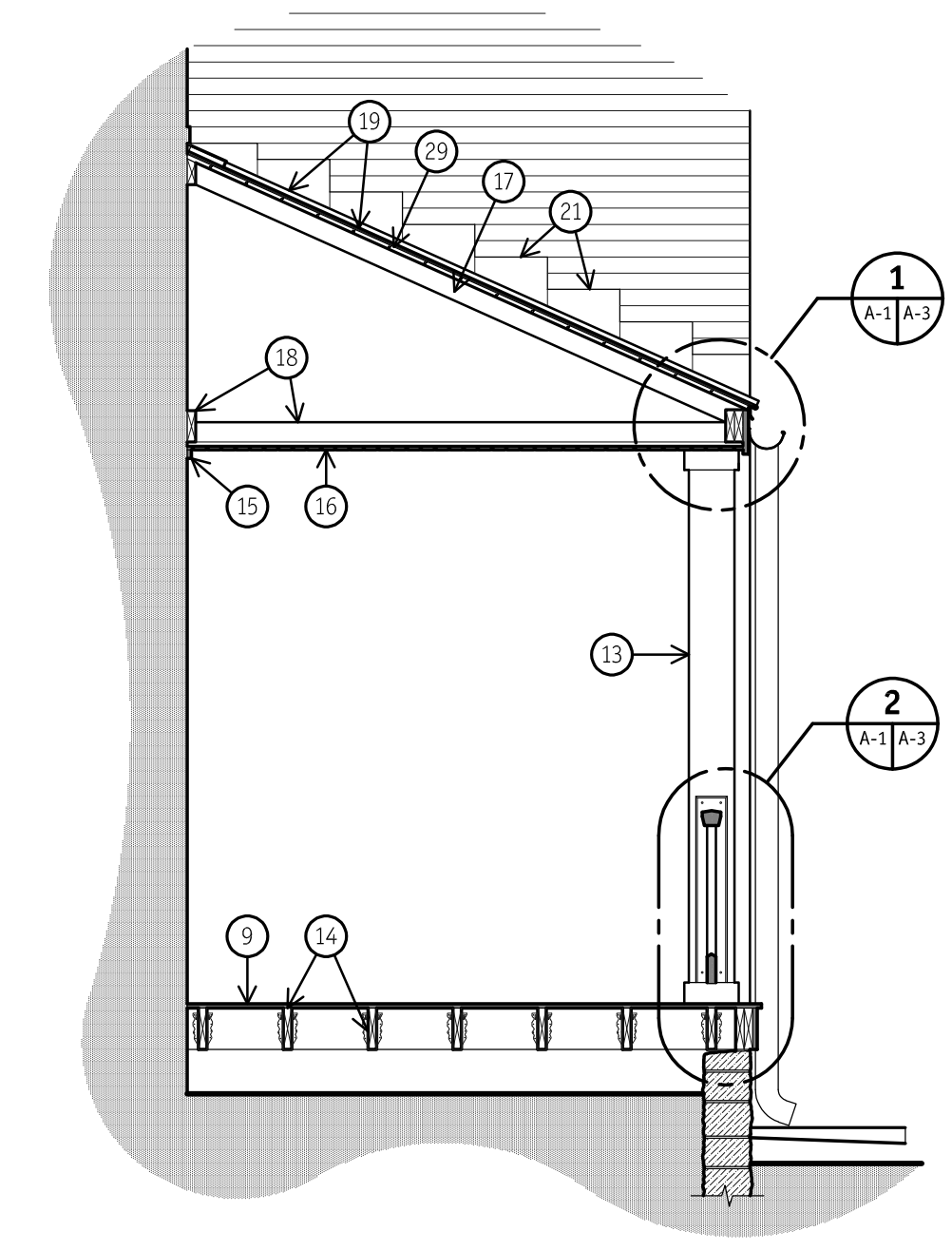


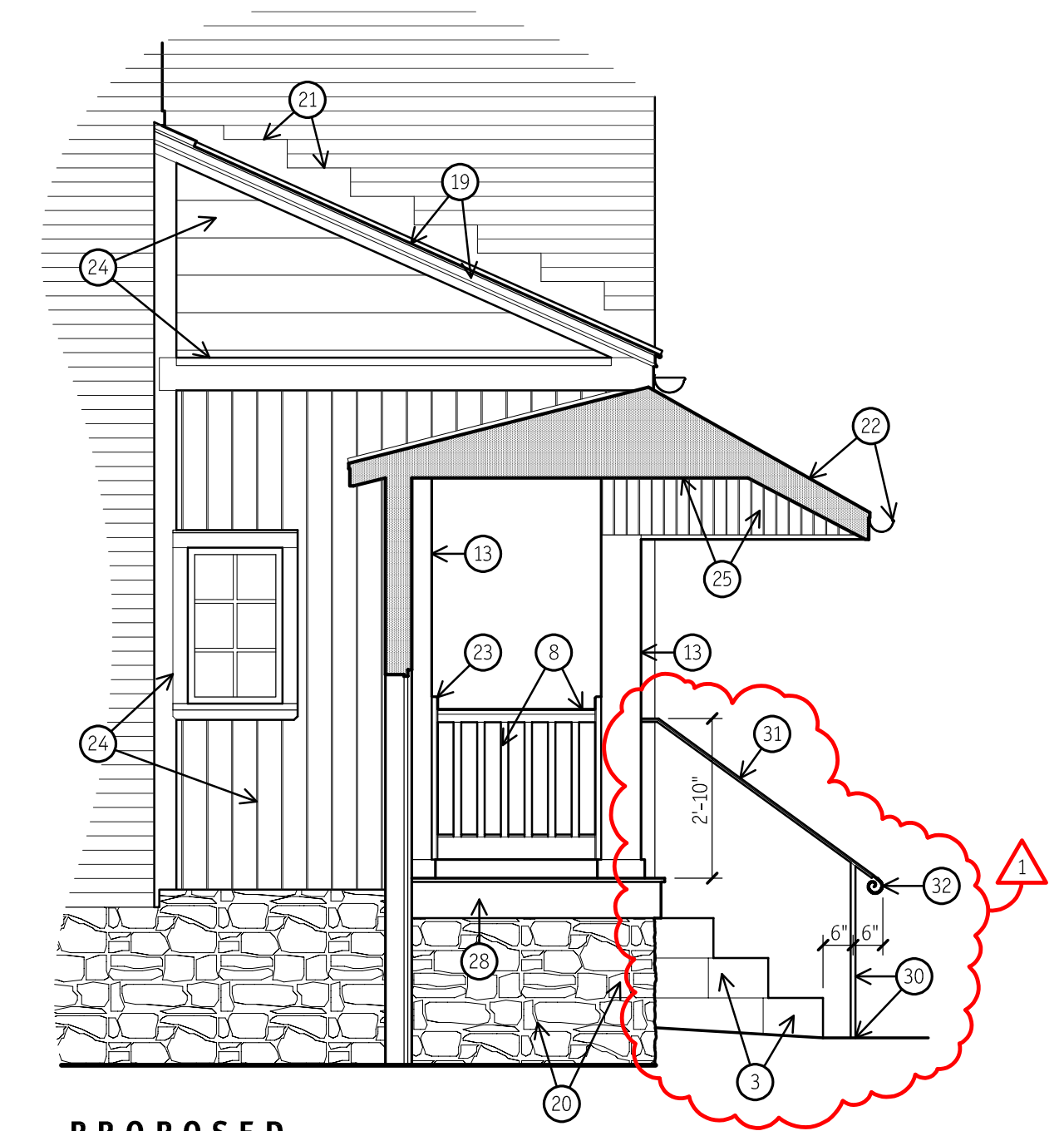
DEMOLITION PORCH PLAN
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 GRAPHIC SCALE
 TRUE NORTH PLAN NORTH



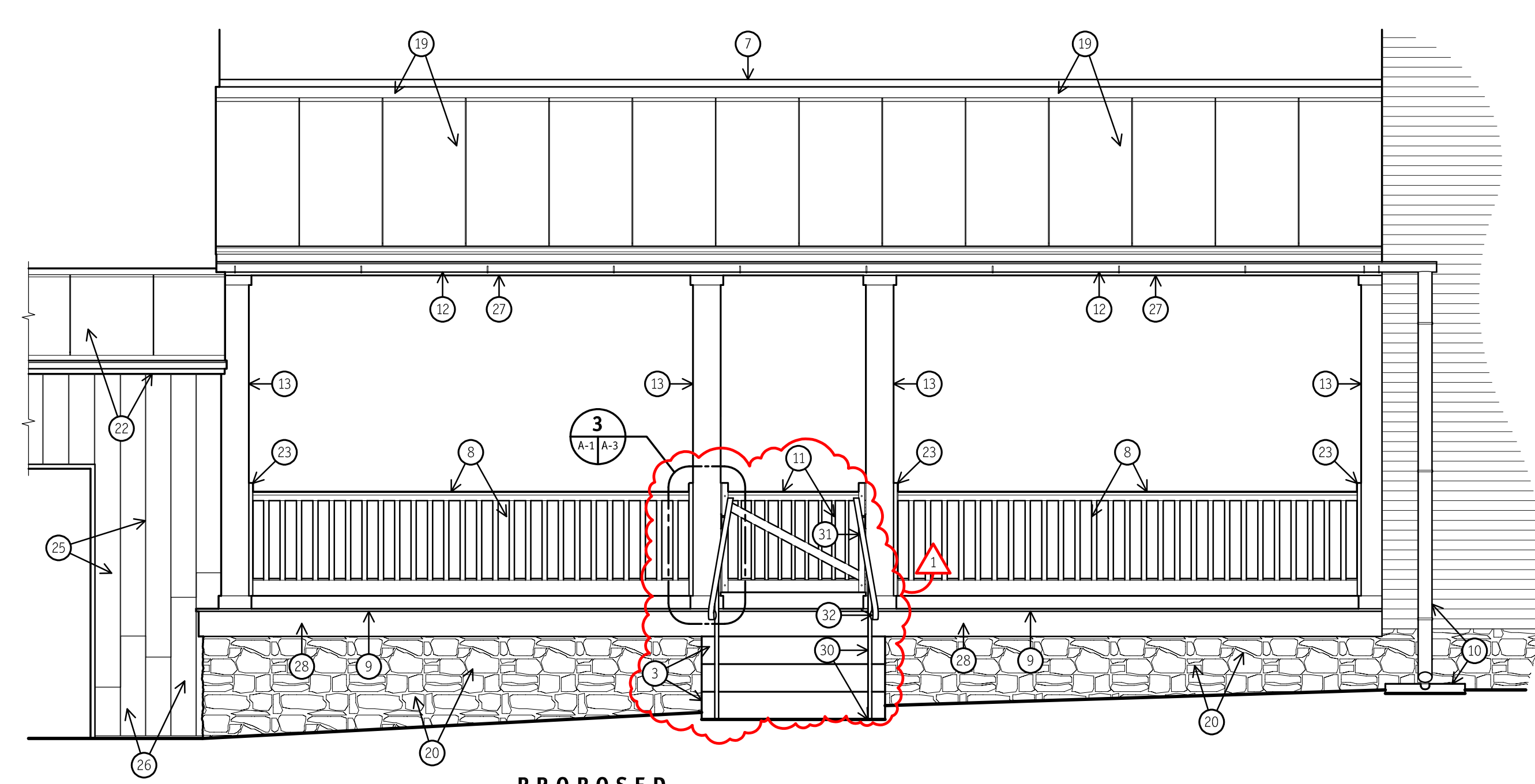
PROPOSED PORCH PLAN
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 GRAPHIC SCALE
 TRUE NORTH PLAN NORTH



SECTION A-A-1
 SCALE: 3/8" = 1'-0"
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 GRAPHIC SCALE



PROPOSED WEST ELEVATION
 SCALE: 3/8" = 1'-0"
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 GRAPHIC SCALE



PROPOSED SOUTH ELEVATION
 SCALE: 3/8" = 1'-0"
 0' 2.0' 4.0' 6.0' 8.0'
 GRAPHIC SCALE

KEYED NOTES:

- 1 REMOVE EXISTING WOOD TONGUE & GROOVE FLOORING. EXISTING PRESERVATIVE TREATED WOOD FLOOR FRAMING TO REMAIN.
- 2 REMOVE EXISTING WOOD GATE AND SALVAGE LATCH HARDWARE FOR REUSE.
- 3 EXISTING NATURAL STONE SPLASH BLOCK TO REMAIN.
- 4 EXISTING NATURAL STONE SPLASH BLOCK TO REMAIN.
- 5 REMOVE EXISTING WOOD GUARD-RAILING.
- 6 EXISTING WOOD POST TO REMAIN. REMOVE CAP TRIM AT TOP OF POSTS AND MODIFY POST BASE TO RECEIVE BASE TRIM. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
- 7 EXISTING BRICK LEDGE WHERE ROOF ABUTS WALL.
- 8 NEW WOOD (WHITE OAK) GUARD-RAILING TO MATCH EXISTING REMOVED RAILING WITH MINOR EXCEPTIONS. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
- 9 NEW RANDOM WIDTH TONGUE & GROOVE WOOD (WHITE OAK) FLOORING. REFER TO DETAILS AND SPECIFICATIONS FOR MATERIAL AND FINISH INFORMATION.

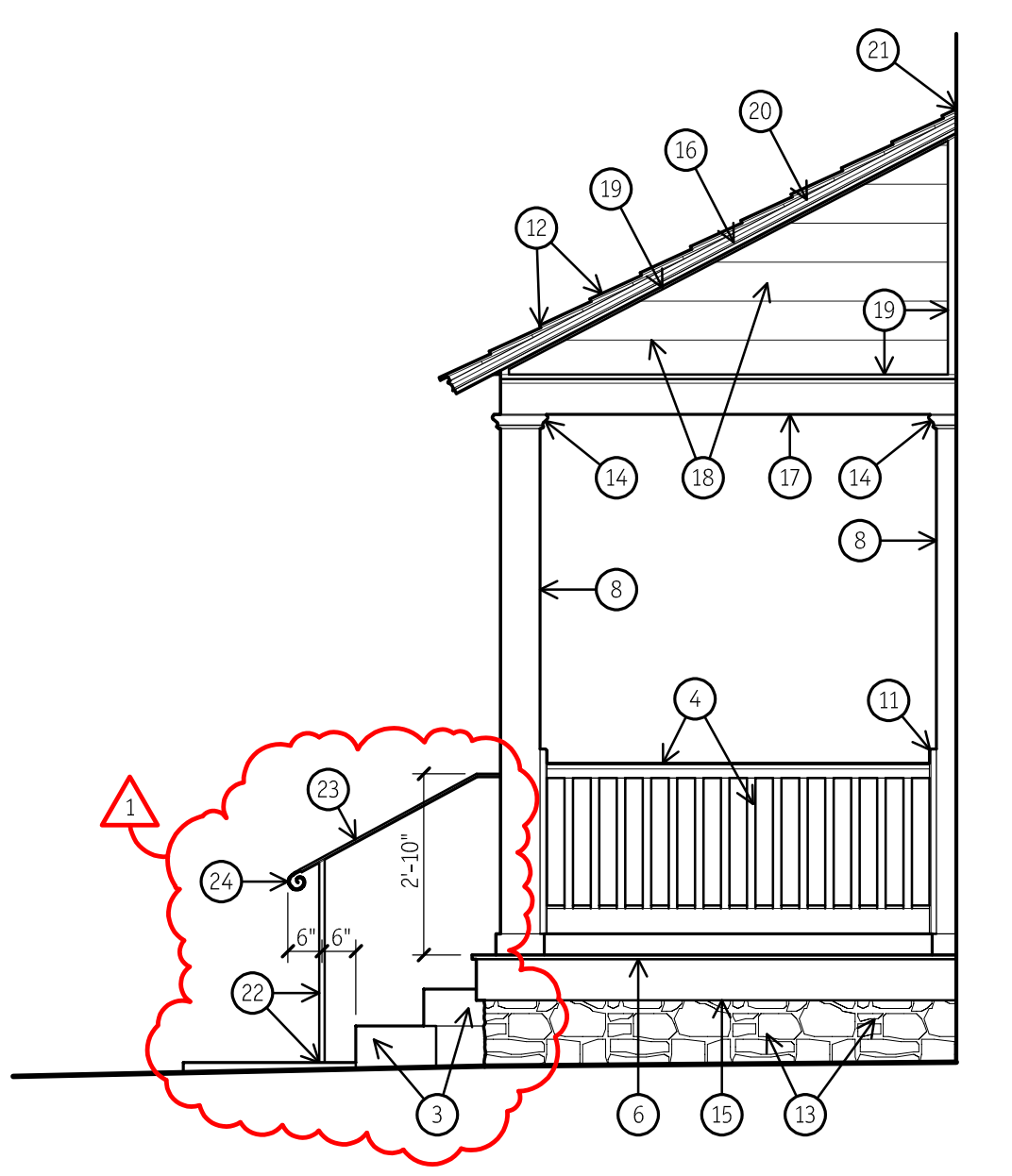
- 10 4" DIAMETER DOWNSPOUT WITH ELBOW AT BASE. CENTER DOWNSPOUT WITH EXISTING NATURAL STONE SPLASH BLOCK.
- 11 NEW WOOD (WHITE OAK) GATE TO MATCH EXISTING GATE WITH MINOR EXCEPTIONS. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
- 12 NEW 6" HALF-ROUND GUTTER WITH FASCIA MOUNT SUPPORT BRACKETS @ 36" MAXIMUM SPACING.
- 13 EXISTING WOOD POST WITH NEW POLY-ASH BASE TRIM AND CAP TRIM. REFER TO DETAILS FOR TRIM INFORMATION AND SPECIFICATIONS FOR CLEANING, PAINTING, AND PREP REQUIREMENTS.
- 14 EXISTING PRESERVATIVE TREATED WOOD FLOOR JOIST FRAMING TO REMAIN.
- 15 NEW 1" X 2" (3/4" X 1 1/2") POLY-ASH TRIM WHERE CEILING ABUTS WALLS (TYPICAL).
- 16 NEW BEADED TONGUE & GROOVE WOOD (PAULOWNIA) CEILING. REFER TO SPECIFICATIONS FOR MATERIAL AND FINISH INFORMATION.
- 17 EXISTING WOOD RAFTER FRAMING TO REMAIN.

- 18 EXISTING WOOD CEILING JOIST FRAMING AND FURRING STRIPS TO REMAIN.
- 19 EXISTING STANDING SEAM METAL ROOF AND RAKE/FASCIA/APRON FLASHING TO REMAIN. REFER TO SPECIFICATIONS FOR CLEANING, PAINTING, AND PREP REQUIREMENTS.
- 20 EXISTING NATURAL STONE FOUNDATION WALL TO REMAIN.
- 21 REMOVE EXISTING STEP FLASHING WHERE ROOF ABUTS BRICK SIDE WALL AND REPLACE WITH NEW FLASHING (TYPE OF METAL TO MATCH EXISTING ROOF MATERIAL).
- 22 EXISTING "CONNECTOR" ROOF STRUCTURE TO REMAIN.
- 23 NEW WOOD (WHITE OAK) GUARD-RAILING END PLATE TO SECURE NEW GUARD RAILING TO EXISTING POST. SIZE AND CONFIGURATION OF END PLATE TO MATCH EXISTING PLATES ON EAST PORCH.
- 24 EXISTING EXTERIOR WOOD SIDING AND TRIM TO REMAIN (NO WORK).
- 25 EXISTING WOOD SIDING AND TRIM ON INTERIOR OF "CONNECTOR" STRUCTURE TO REMAIN. REFER TO SPECIFICATIONS FOR CLEANING, PAINTING, AND PREP REQUIREMENTS.

- 26 REPAIR WALL WITH NEW WOOD SIDING TO MATCH EXISTING WHERE STEPS WERE REMOVED. TOOTH IN NEW SIDING WITH EXISTING TO AVOID A "PATCHED" APPEARANCE.
- 27 NEW POLY-ASH FASCIA. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
- 28 NEW POLY-ASH FACE TRIM. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
- 29 EXISTING WOOD PLANK ROOFING SHEATHING TO REMAIN.
- 30 SOLID FORGED STEEL HAMMERED POST (KING METALS #13-08486-000). CORE DRILL 5" Ø HOLE COMPLETELY THROUGH EXISTING STONE SLAB AT BASE OF STEPS. EXCAVATE SOIL AND/OR AGGREGATE UNDERNEATH TO 10" DEPTH BELOW TOP OF STONE SLAB. CENTER POST IN HOLE AND SET BOTTOM 5" BELOW TOP OF STONE SLAB THEN PACK ENTIRE CAVITY AROUND AND BELOW POST SOLID WITH EXPANSIVE GROUT.
- 31 1 9/16" X 5/16" FORGED STEEL HAMMERED TOP RAIL (KING METALS #13-114-8) WITH 1" X 3/8" FLAT BAR RAIL SUPPORT WELDED TO BOTTOM OF TOP RAIL. TOP OF RAILING TO BE 2'-10" ABOVE STEP NOSINGS.
- 32 1 9/16" X 5/16" X 5 1/8" FORGED STEEL HAMMERED VOLLUTE (KING METALS #13-00312-415).
- 33 FORGED STEEL HANDRAIL BRACKET (KING METALS #13-04025-130) SECURED TO COLUMN.
- 34 HOLD END OF HANDRAIL 1/2" AWAY FROM GATE IN CLOSED POSITION.

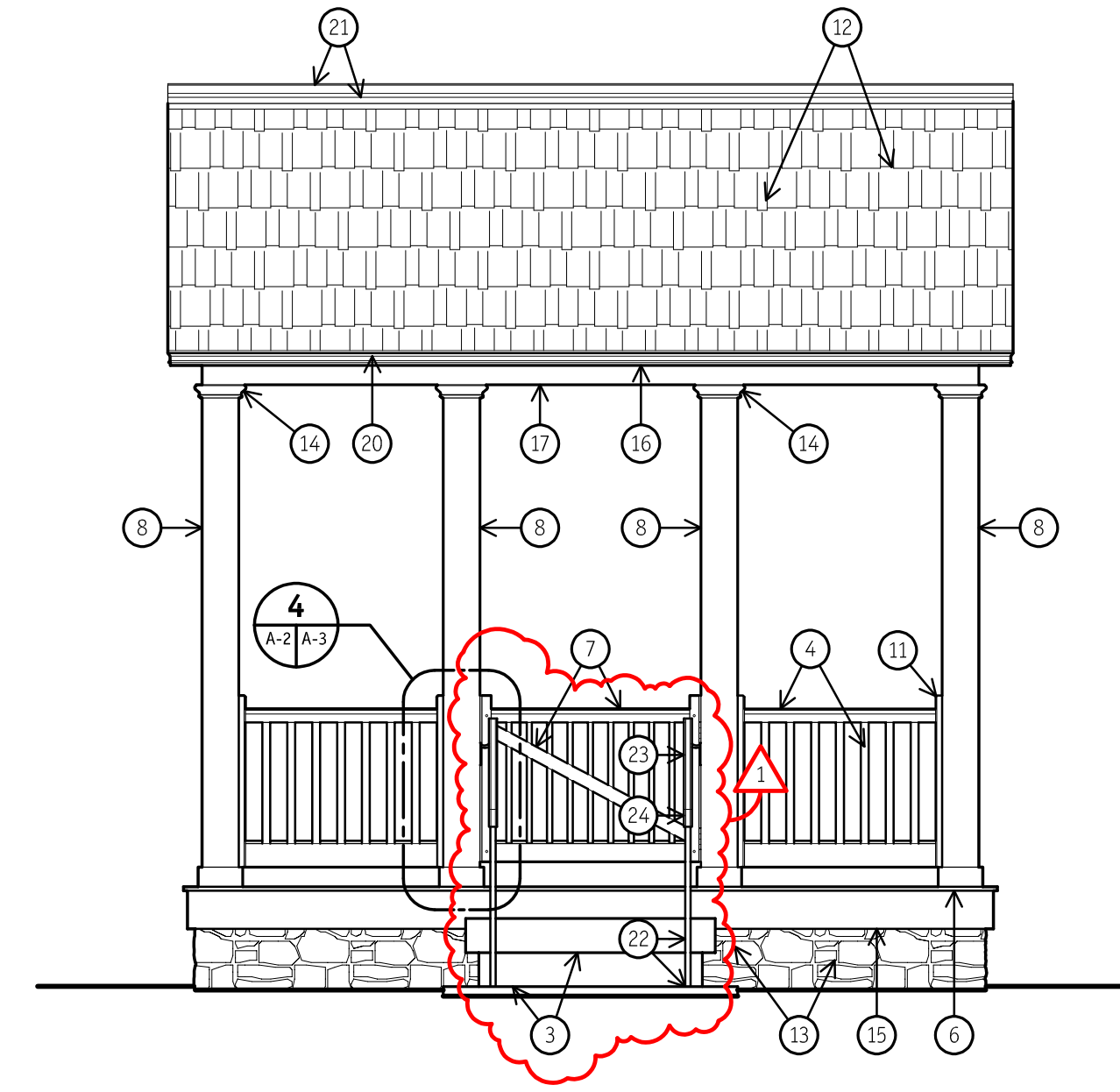
GENERAL NOTES:

- A. "SOUTH" PORCH MAJOR ITEMS TO BE REMOVED INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING ITEMS:
 - * PLASTER/WOOD LATH CEILING.
 - * RANDOM WIDTH TONGUE & GROOVE FLOORING.
 - * GUARD-RAILING.
 - * METAL STEP FLASHING WHERE ROOF ABUTS BRICK MASONRY SIDE WALL.
 - * ENTRY GATES.
 - * GUTTER.
 - * MISCELLANEOUS TRIM AS NOTED IN THE PLANS.
- B. "EAST" PORCH MAJOR ITEMS TO BE REMOVED INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING ITEMS:
 - * WOOD JOIST FLOOR FRAMING.
 - * RANDOM WIDTH TONGUE & GROOVE FLOORING.
 - * ENTRY GATE.
 - * CEDAR SHAKE ROOF.
 - * MISCELLANEOUS TRIM AS NOTED IN THE PLANS.
- C. INSTALL MEMBRANE DECK PROTECTOR ON TOP OF ALL NEW AND EXISTING FLOOR JOISTS PRIOR TO INSTALLATION OF NEW RANDOM WIDTH TONGUE & GROOVE WOOD (WHITE OAK) FLOORING.
- D. PROVIDE TEMPORARY SHORING TO SUPPORT PORCH ROOF STRUCTURES DURING DEMOLITION AND RECONSTRUCTION OF PORCH FLOORING AND WOOD FLOOR JOIST FRAMING SYSTEMS.



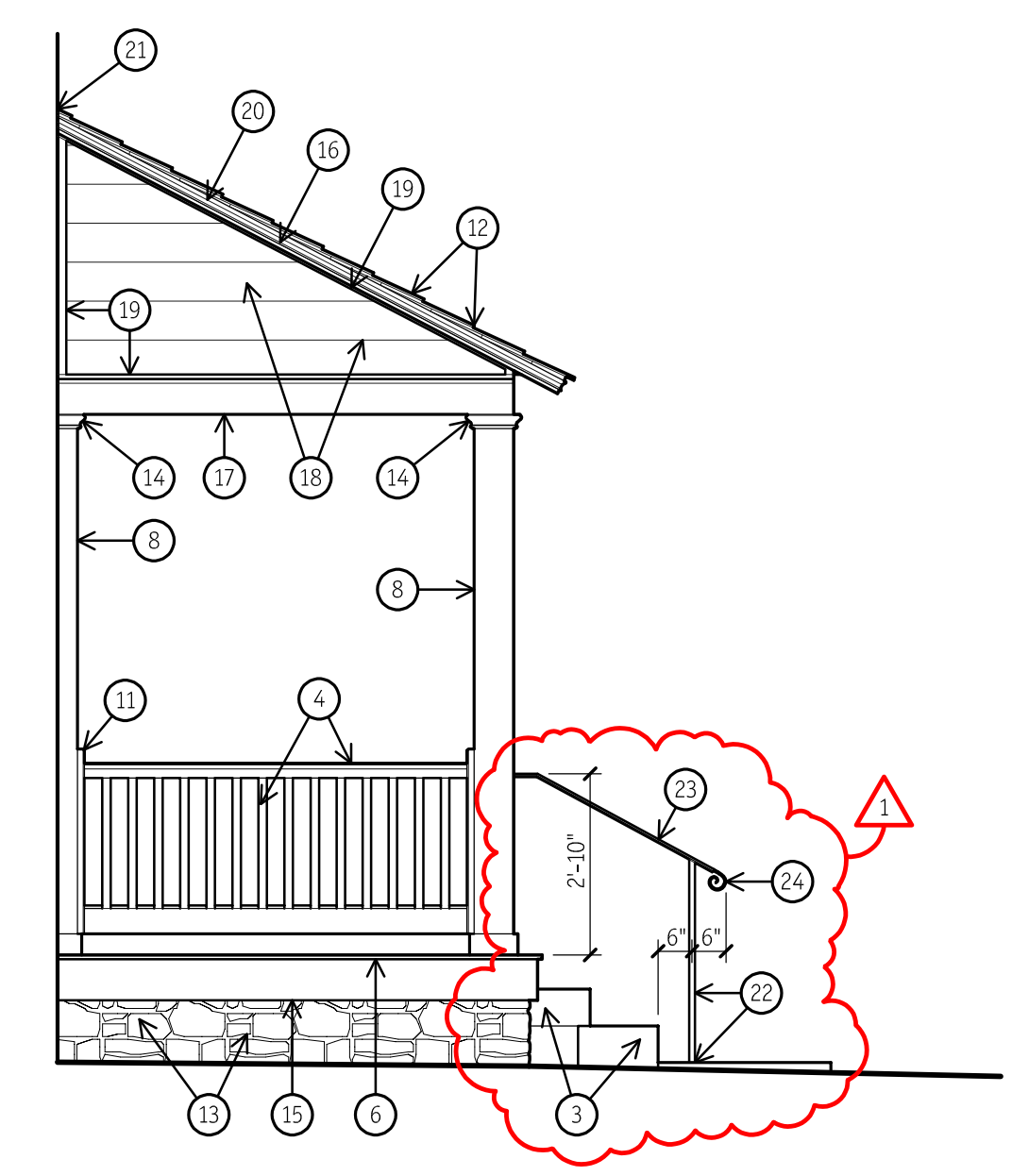
PROPOSED NORTH ELEVATION

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GRAPHIC SCALE



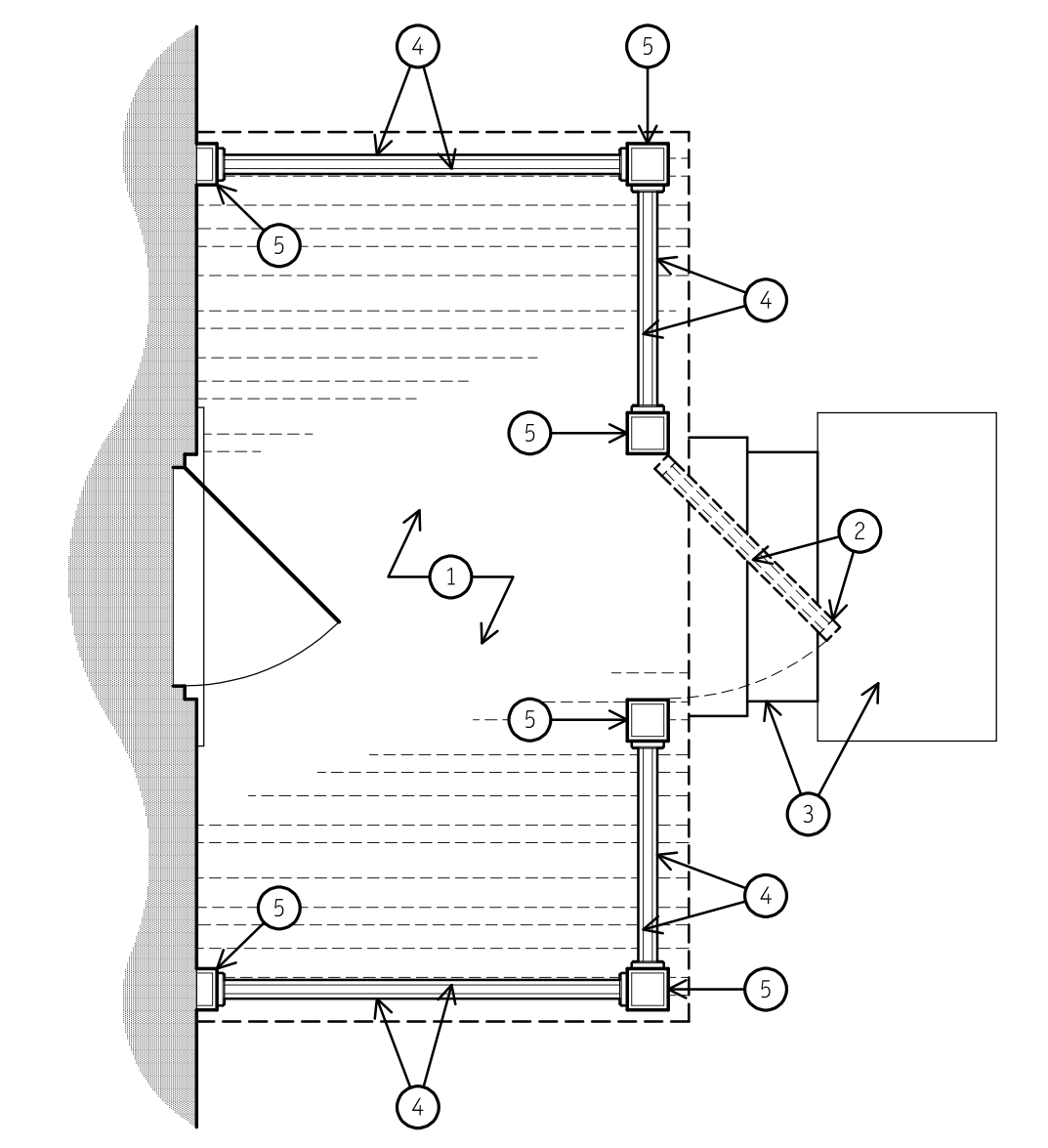
PROPOSED EAST ELEVATION

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GRAPHIC SCALE



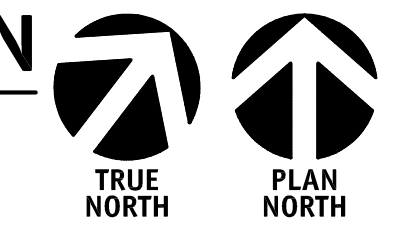
PROPOSED SOUTH ELEVATION

SCALE: 3/8" = 1'-0"
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GRAPHIC SCALE



DEMOLITION PORCH PLAN

SCALE: 3/8" = 1'-0"
0' 2.0' 4.0' 6.0' 8.0'
GRAPHIC SCALE



SPECIFICATIONS:

GENERAL CONDITIONS:

- A REFER TO FIVE RIVERS METROPARKS STANDARD CONTRACT DOCUMENTS FOR ADDITIONAL CONTRACT REQUIREMENTS.
- B ALTERNATIVE MANUFACTURERS FOR SPECIFIED PRODUCTS MUST HAVE IDENTICAL AND/OR CLOSELY SIMILAR FEATURES AND PERFORMANCE CHARACTERISTICS TO THE PRODUCTS SPECIFIED. FIVE RIVERS METROPARKS RESERVES THE RIGHT TO REJECT ALTERNATIVE MANUFACTURERS IF THE FEATURES AND CHARACTERISTICS OF THE PROPOSED PRODUCTS ARE DEEMED TOO DISSIMILAR FROM THE SPECIFIED ITEMS. APPROVAL OF ALTERNATIVE PRODUCT MANUFACTURER'S MUST BE SECURED PRIOR TO BID SUBMISSION.
- C ALL MATERIALS ARE TO BE STORED, HANDLED, AND INSTALLED IN STRICT ACCORDANCE WITH INDUSTRY STANDARDS AND THE MANUFACTURER'S RECOMMENDATIONS FOR EACH SPECIFIC ITEM.
- D PLACE TEMPORARY BARRICADE TAPE AROUND PERIMETER OF WORK SITE AREAS THAT ARE ACCESSIBLE TO THE GENERAL PUBLIC. TAPE TO BE YELLOW AND READ "CAUTION DO NOT ENTER".
- E DEMOLISH AND REMOVE PORTIONS OF EXISTING PORCH STRUCTURES AS NOTED IN THE PLANS AND ONLY TO THE EXTENT REQUIRED FOR REPAIRS AND NEW CONSTRUCTION.
- F TRANSPORT DEMOLISHED MATERIALS OFF SITE AND DISPOSE IN AN EPA-APPROVED LANDFILL.

METALS:

- A ALL FASTENERS USED TO SECURE EXTERIOR TRIM AND LUMBER COMPONENTS ARE TO BE MANUFACTURED FROM NON-CORROSIVE MATERIALS (STAINLESS STEEL, HOT DIPPED GALVANIZED, ETC.).
- B WOOD CONSTRUCTION CONNECTORS (JOIST HANGERS, HURRICANE TIES, ETC.) ARE TO BE SIMPSON STRONG-TIE PRODUCTS. THE CONTRACTOR SHALL CHOOSE THE APPROPRIATE CONNECTOR FOR ANY GIVEN CIRCUMSTANCE. CONNECTORS IN CONTACT WITH PRESERVATIVE TREATED LUMBER ARE TO BE STAINLESS STEEL, HOT DIPPED GALVANIZED, OR Z-MAX COATING IN ACCORDANCE WITH ASTM B695 OR ASTM G185 STANDARDS, OR BETTER.
- C ALL NAILING APPLICATIONS ARE TO COMPLY WITH ASTM F1667 AND THE FASTENING SCHEDULE OF THE OHIO RESIDENTIAL BUILDING CODE.

WOOD AND PLASTICS:

- A EXTERIOR POLY-ASH TRIM MATERIAL IS TO BE BORAL TRUEXTERIOR TRIM IN SIZES NOTED ON THE PLANS. INSTALL TRIM IN ACCORDANCE WITH THE MANUFACTURER'S GUIDELINES WITH SMOOTH FINISH FACE EXPOSED. ALL POLY-ASH TRIM IS TO BE PRIMED AND PAINTED.
- B PORCH CEILING MATERIAL IS TO BE 3" X 6" BEADED TONGUE & GROOVE PAULOWNIA. ALL PAULOWNIA CEILING MATERIAL IS TO BE PRIMED AND PAINTED.
- C ROOF SHEATHING IS TO BE 5/8" THICK APA RATED PLYWOOD, EXPOSURE 1 BOND CLASSIFICATION, AND 32/16 SPAN RATING. SECURE PLYWOOD TO EXISTING WOOD SLATS WITH 8d NAILS SPACED AT 3"-5" CENTERS.
- D PORCH FLOORING IS TO BE 3/4" THICK TONGUE & GROOVE WHITE OAK (#1 COMMON), UNFINISHED, SOLID, SQUARE EDGE, IN RANDOM WIDTHS OF 3", 4", 5", AND 6". WOOD FLOOR TO BE INSTALLED IN ACCORDANCE WITH NWFA INSTALLATION GUIDELINES USING NON-CORROSIVE FASTENERS.

THERMAL AND MOISTURE PROTECTION:

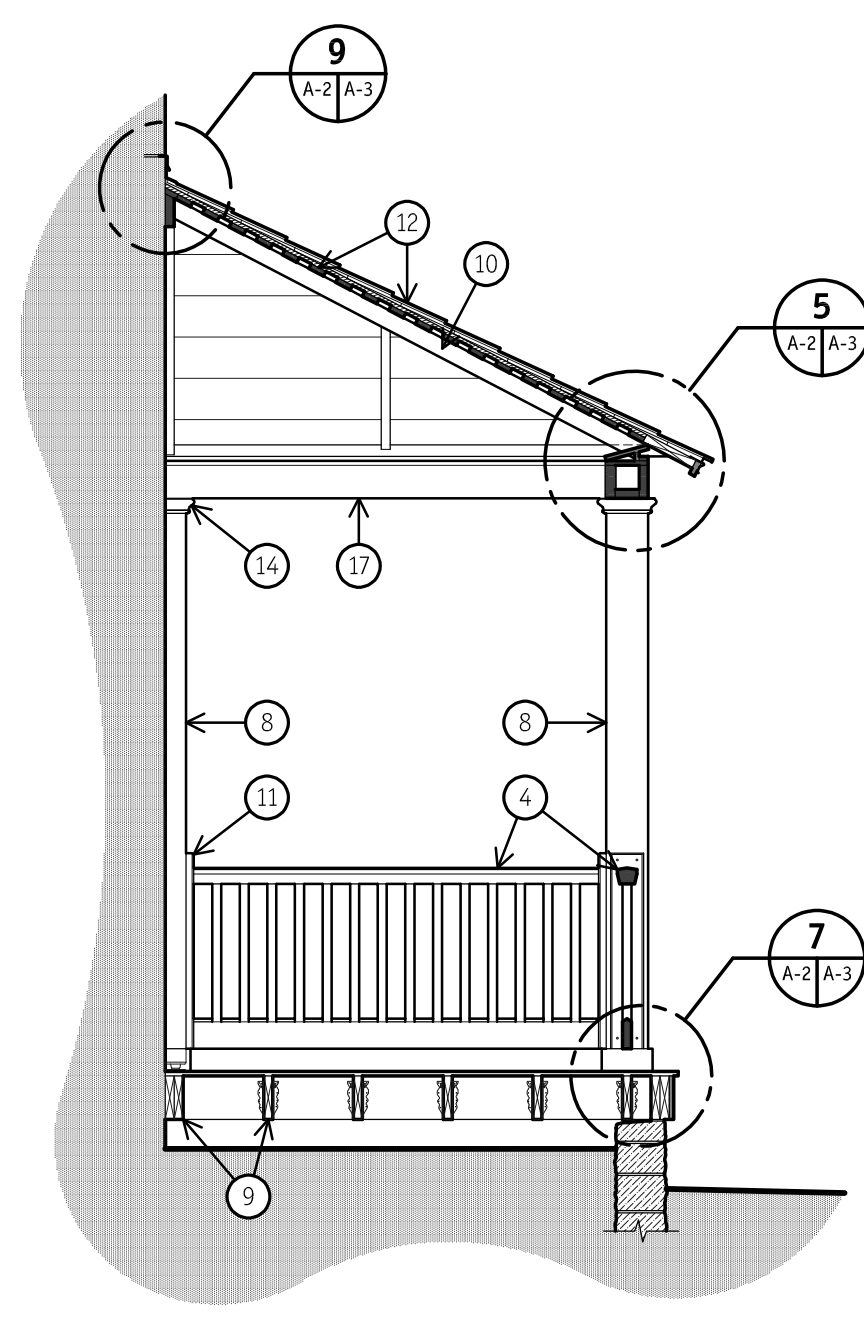
- A ALL SEALANT IS TO BE COMMERCIAL GRADE POLYURETHANE ADHESIVE SEALANT, WHERE NOT PAINTED, SEALANT COLOR IS TO MATCH THE COLOR OF THE SURFACE TO WHICH IT IS APPLIED.
- B SYNTHETIC CEDAR ROOF SHAKES ARE TO BE MANUFACTURED BY BRAVA ROOF TILE. COLOR/TONE IS TO BE AGED CEDAR. SHAKE EXPOSURE IS TO BE NO MORE THAN 9" OR LESS THAN 7", ADJUSTED TO PROVIDE EQUAL EXPOSURE OF EACH ROW OF SHAKES FROM BOTTOM TO TOP OF ROOF. INSTALL SHAKES OVER ICE & WATER SHIELD UNDERLAYMENT IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- C GUTTERS ARE TO BE 6" REVERSE BEAD HALF-ROUND STYLE MADE FROM 24 GAUGE MILL FINISHED GALVALUME STEEL WITH AN ACRYLIC COATING (ACRYLUME). PROVIDE ALL ACCESSORIES, INCLUDING ENDCAPS, OUTLETS, AND FASCIA MOUNT GUTTER SUPPORT BRACKETS, AS REQUIRED FOR A COMPLETE AND SECURE INSTALLATION. DO NOT PAINT.
- D DOWNSPOUTS ARE TO BE 4" DIAMETER PLAIN ROUND STYLE MADE FROM 22 GAUGE MILL FINISHED GALVALUME STEEL WITH AN ACRYLIC COATING (ACRYLUME). PROVIDE ALL ACCESSORIES, INCLUDING 2" WIDE 20 GAUGE STRAPS, ELBOWS, ETC., AS REQUIRED FOR A COMPLETE AND SECURE INSTALLATION. DO NOT PAINT.
- E MISCELLANEOUS METAL FLASHING (STEP FLASHING, REGLET FLASHING, EDGE FLASHING, ETC.) IS TO BE 28 GAUGE GALVANIZED COATED STEEL WITH FACTORY PAINT FINISH (DARK BROWN OR GRAY). ALL FLASHING IS TO BE FIELD PAINTED UPON INSTALLATION AS FOLLOWS.
 - SOUTH PORCH STEP FLASHING - PAINT TO MATCH EXISTING METAL ROOF COLOR.
 - EAST PORCH FLASHING AND REGLET FLASHING - PAINT TO MATCH COMPOSITE SHAKE COLOR.
 - EAST PORCH EDGE FLASHING - PAINT TO MATCH COMPOSITE FASCIA AND RAKE TRIM COLOR.
- F INSTALL LYCOR DECK PROTECTOR MEMBRANE BY GRACE CONSTRUCTION PRODUCTS ON TOP OF ALL NEW AND EXISTING PRESERVATIVE TREATED FLOOR JOISTS, BEAMS, AND LEDGERS. SIZE MEMBRANE WIDTH TO COMPLETELY COVER TOP OF JOISTS, BEAMS, AND LEDGERS EXTENDING DOWN EACH SIDE A MINIMUM OF 1/2".

DOORS:

- A REUSE EXISTING PORCH GATE LATCH HARDWARE ON NEW GATES. CLEAN, PRIME, AND PAINT (SATIN BLACK) PRIOR TO REINSTALLATION. REPLACE PORCH GATE HINGES WITH NEW 4" X 4" EXTRUDED BRASS HINGES WITH SATIN BLACK FINISH AND SQUARE CORNERS. MODIFY EXISTING HINGE MORTISE IN SIDES OF EXISTING POSTS IF REQUIRED FOR NEW HINGES TO FIT PROPERLY.

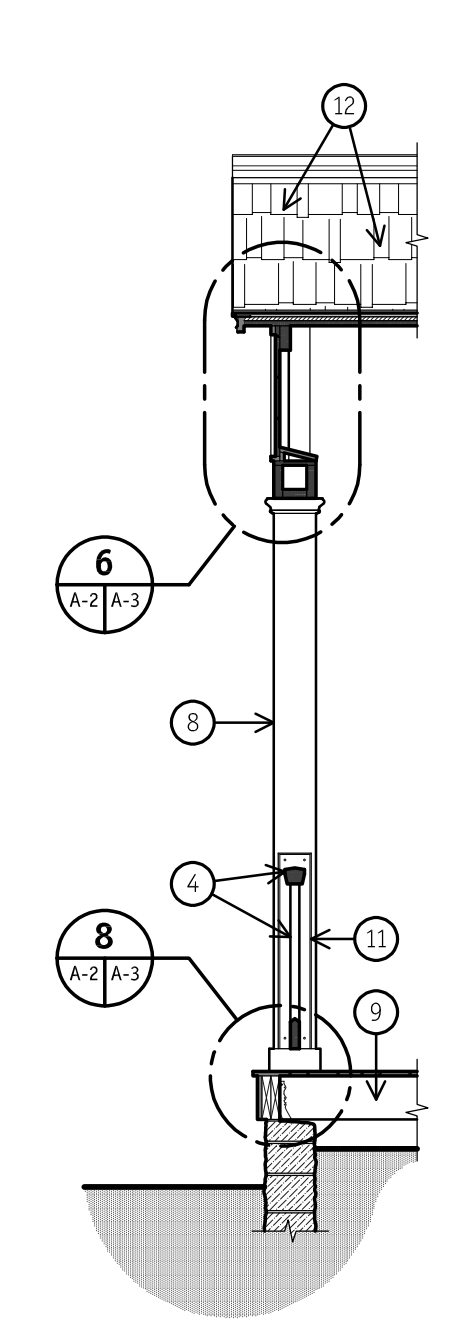
FINISHES:

- A EXISTING WOOD, NEW WOOD, AND NEW POLY-ASH MATERIALS (GUARD-RAILINGS, GATES, POSTS, CEILING, TRIM, ETC.):
 - MEDIUM PRESSURE-WASH EXISTING SURFACES CONTAINING A DISINFECTANT CLEANING ADDITIVE (MOLD ARMOR) TO KILL AND INHIBIT THE GROWTH OF MOLD AND MILDEW.
 - ALLOW ADEQUATE TIME FOR SURFACES TO SUFFICIENTLY DRY BEFORE PROCEEDING TO NEXT STEP, PREFERABLY TO A MOISTURE LEVEL OF 18% OR LESS. ALLOW NEWLY INSTALLED MATERIALS TO WEATHER IN PLACE A MINIMUM OF 2 WEEKS.
 - SCRAPE AND SAND LOOSE PAINT FROM EXISTING SURFACES DOWN TO SUBSTRATE OR SMOOTH BASE LAYER.
 - REPLACE DAMAGED OR ROTTED WOOD WITH MATCHING MATERIALS. SMALL AREAS OF ROTTED OR DAMAGE WOOD TO BE REPAIRED WITH EPOXY WOOD RESTORATION FILLER (ABATRON LIQUIDWOOD OR WOODPOXY). CAULK ALL OPEN JOINTS WITH AN EXTERIOR GRADE POLYURETHANE SEALANT (DAP DYNAFLEX 230).
 - SPOT PRIME EXISTING RAW WOOD/EPOXY AREAS WITH OIL-BASED PRIMER (SHERWIN WILLIAMS EXTERIOR OIL-BASED PRIMER), TINTED AS REQUIRED.
 - APPLY ONE FULL COAT OF OIL-BASED PRIMER TO ALL EXISTING AND/OR NEW SURFACES (SHERWIN WILLIAMS EXTERIOR OIL-BASED PRIMER), TINTED AS REQUIRED. ALLOW MINIMUM OF 24 HOURS DRYING TIME PRIOR TO FINISH PAINTING.
 - APPLY TWO FINISH COATS OF EXTERIOR ACRYLIC LATEX PAINT TO ALL EXISTING AND/OR NEW SURFACES (SHERWIN WILLIAMS EMERALD ACRYLIC LATEX PAINT). ALLOW MINIMUM OF 24 HOURS BETWEEN COATS. COLOR MATCH ORIGINAL PAINT COLOR.
 - APPLY PRIMER AND PAINT PRODUCTS WITH NATURAL BRISTLE BRUSH AND/OR SPRAYER ONLY TO DRY SURFACES. POSTPONE APPLICATION IF RAIN IS LIKELY WITHIN 6 TO 8 HOURS AFTER PRIMER OR PAINT IS APPLIED.
- B NEW WOOD PORCH FLOORING:
 - SAND FLOOR STARTING WITH 60 GRIT SANDPAPER, THEN 80 GRIT SANDPAPER, THEN FINISHING WITH 120 GRIT SANDPAPER, UNTIL A SMOOTH FINISH IS ACHIEVED. VACUUM AND WIPE BETWEEN EACH SANDING.
 - APPLY TWO FINISH COATS OF WATER BASED ACRYLIC FLOOR COATING (SHERWIN WILLIAMS ARMORSEAL TREAD-PLEX). ALLOW MINIMUM OF 24 HOURS BETWEEN COATS. COLOR TO BE DECK GRAY (CONFIRM COLOR WITH OWNER).
- C EXISTING METAL AND NEW METAL MATERIALS (ROOF AND RAKE FLASHING, FASCIA FLASHING, APRON FLASHING, STEP FLASHING, ETC.). DO NOT PAINT GUTTER AND DOWNSPOUT:
 - HIGH PRESSURE-WASH ALL SURFACES. IF MOLD OR MILDEW IS PRESENT, WASH WITH A DISINFECTANT CLEANING ADDITIVE (MOLD ARMOR) TO KILLS AND INHIBITS THE GROWTH OF MOLD AND MILDEW.
 - WIRE BRUSH AND SAND ANY SCALED SURFACE RUST.
 - SPOT PRIME RUSTED AREAS WITH RUST INHIBITIVE PRIMER (UNIFLEX #36-520).
 - APPLY ONE FULL COAT OF RUST INHIBITIVE PRIMER (UNIFLEX #36-520) TO ALL METAL SURFACES.
 - APPLY TWO FULL COATS OF ELASTOMERIC ROOF COATING (UNIFLEX #4130A-20) TO ALL METAL SURFACES. CUSTOM MATCH ORIGINAL PAINT COLOR.
 - APPLY PRODUCTS WITH NATURAL BRISTLE BRUSH, ROLLER, AND/OR SPRAYER ONLY TO DRY SURFACES. POSTPONE APPLICATION IF RAIN IS LIKELY WITHIN 6 TO 8 HOURS AFTER PRIMER OR PAINT IS APPLIED.
- D PLYWOOD ROOF SHEATHING:
 - PRIOR TO INSTALLATION, APPLY TWO COATS OF SOLID STAIN TO THE EDGES AND BOTTOM (EXPOSED) SIDES OF ALL SHEATHING. SOLID STAIN TO BE SIKKENS RUBBOL, OXFORD BROWN 058.
- E ALL PAINTED AND STAINED SURFACES ARE TO BE PREPARED AND PRIMER/PAINT MATERIALS APPLIED IN ACCORDANCE WITH THE PAINT MANUFACTURER'S GUIDELINES AND POCA STANDARDS.
- F PRIOR TO INSTALLING, FILL ALL GAPS WITH SEALANT BETWEEN TRIM MEMBERS (BOTH WOOD AND POLY-ASH), TRIM MEMBERS AND SIDING, AND TRIM MEMBERS. SEALANT JOINTS SHALL BE UNIFORMLY SMOOTH AND FLUSH WITH ADJACENT SURFACES. SET FINISH NAILS APPROXIMATELY 1/8" BELOW TRIM OR PLYWOOD SURFACE, FILL HOLES WITH WOOD FILLER, THEN SAND SMOOTH.



B SECTION

SCALE: 3/8" = 1'-0"
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GRAPHIC SCALE

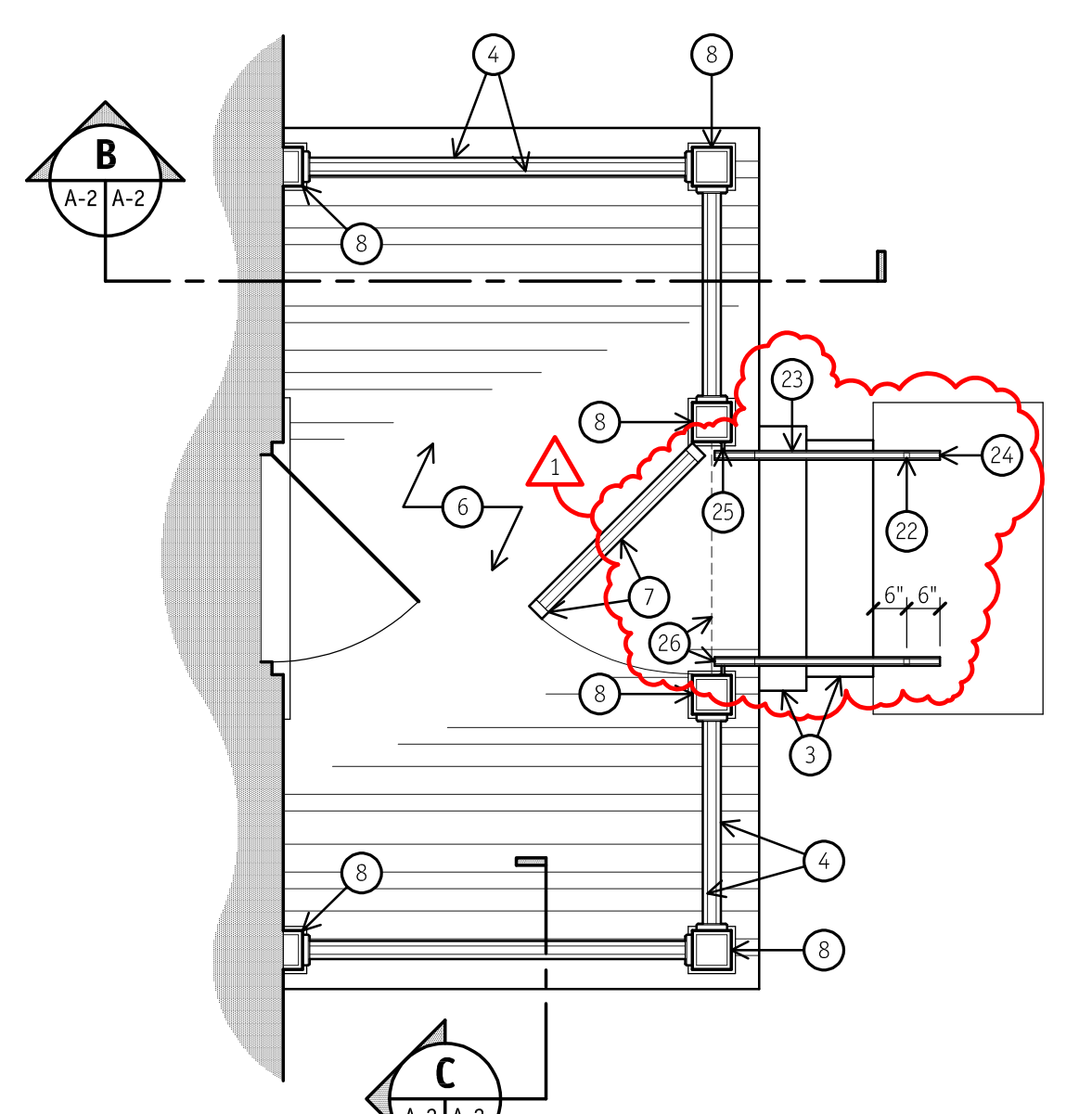


C SECTION

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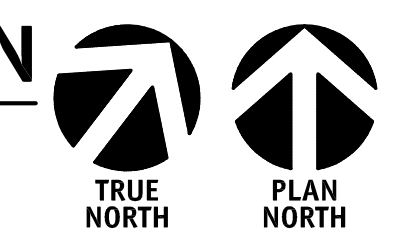
KEYED NOTES:

- 1 REMOVE EXISTING WOOD TONGUE & GROOVE FLOORING AND FLOOR JOIST FRAMING.
- 2 REMOVE EXISTING WOOD GATE AND SALVAGE LATCH HARDWARE FOR REUSE.
- 3 EXISTING NATURAL STONE STEPS TO REMAIN.
- 4 EXISTING WOOD GUARD-RAILING TO REMAIN. REFER TO SPECIFICATIONS FOR CLEANING, PAINTING, AND PREP REQUIREMENTS.
- 5 EXISTING WOOD POST TO REMAIN. MODIFY POST BASE TO RECEIVE BASE TRIM. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
- 6 NEW RANDOM WIDTH TONGUE & GROOVE WOOD (WHITE OAK) FLOORING. REFER TO DETAILS AND SPECIFICATIONS FOR MATERIAL AND FINISH INFORMATION.
- 7 NEW WOOD (WHITE OAK) GATE TO MATCH EXISTING GATE WITH MINOR EXCEPTIONS. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
- 8 EXISTING WOOD POST WITH NEW POLY-ASH BASE TRIM. REFER TO DETAILS FOR TRIM INFORMATION AND SPECIFICATIONS FOR CLEANING, PAINTING, AND PREP REQUIREMENTS.
- 9 NEW 2" X 8" PRESERVATIVE TREATED FLOOR FRAMING SYSTEM. NEW FLOOR JOISTS TO BE PLACED IN THE SAME QUANTITY, SPACING, AND LOCATION AS THE EXISTING REMOVED FRAMING MEMBERS.
- 10 EXISTING WOOD RAFTER FRAMING TO REMAIN.
- 11 EXISTING WOOD GUARD-RAILING END PLATES TO REMAIN.
- 12 NEW SYNTHETIC CEDAR SHAKES INSTALLED OVER ICE & WATER SHIELD UNDERLAYMENT OVER 5/8" THICK PLYWOOD SHEATHING (STAIN BOTTOM SIDE OF PLYWOOD) INSTALLED ON TOP OF EXISTING WOOD SLATS.
- 13 EXISTING NATURAL STONE FOUNDATION WALL TO REMAIN.
- 14 EXISTING WOOD POST CAP TRIM TO REMAIN. REFER TO SPECIFICATIONS FOR CLEANING, PAINTING, AND PREP REQUIREMENTS.
- 15 NEW POLY-ASH FACE TRIM. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
- 16 NEW POLY-ASH FASCIA/RAKE TRIM. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
- 17 EXISTING WOOD BOX BEAM TO REMAIN. REFER TO SPECIFICATIONS FOR CLEANING, PAINTING, AND PREP REQUIREMENTS.
- 18 EXISTING WOOD SIDING TO REMAIN. REFER TO SPECIFICATIONS FOR CLEANING, PAINTING, AND PREP REQUIREMENTS.
- 19 NEW POLY-ASH EDGE TRIM. REFER TO DETAILS FOR ADDITIONAL INFORMATION.



PROPOSED PORCH PLAN

SCALE: 3/8" = 1'-0"
0' 2.0' 4.0' 6.0' 8.0'
GRAPHIC SCALE



- 20 NEW ALUMINUM ROOF EDGE FLASHING AT FASCIA/RAKE.
- 21 NEW ALUMINUM FLASHING AND REGLET COUNTER-FLASHING WHERE ROOF ABUTS BRICK WALL. RAKE OUT HORIZONTAL BRICK JOINT BELOW WINDOW SILL AS REQUIRED TO INSTALL REGLET COUNTER-FLASHING AND SEALANT.
- 22 SOLID FORGED STEEL HAMMERED POST (KING METALS #13-08486-000). CORE DRILL 5" Ø HOLE COMPLETELY THROUGH EXISTING STONE SLAB AT BASE OF STEPS. EXCAVATE SOIL AND/OR AGGREGATE UNDERNEATH TO 10" DEPTH BELOW TOP OF STONE SLAB. CENTER POST IN HOLE AND SET BOTTOM 5" BELOW TOP OF STONE SLAB THEN PACK ENTIRE CAVITY AROUND AND BELOW POST SOLID WITH EXPANSIVE GROUT.
- 23 1 9/16" X 5/16" FORGED STEEL HAMMERED TOP RAIL (KING METALS #13-114-8) WITH 1" X 3/8" FLAT BAR RAIL SUPPORT WELDED TO BOTTOM OF TOP RAIL. TOP OF RAILING TO BE 2'-10" ABOVE STEP NOSINGS.
- 24 1 9/16" X 5/16" X 5 1/8" FORGED STEEL HAMMERED VOLUTE (KING METALS #13-00312-415).
- 25 FORGED STEEL HANDRAIL BRACKET (KING METALS #13-04025-130) SECURED TO COLUMN.
- 26 HOLD END OF HANDRAIL 1/2" AWAY FROM GATE IN CLOSED POSITION.

drawn by:
 C. CHAMBERS

checked by:
 C. CHAMBERS

date:
 08 JULY 2022

revisions:
 1 05/18/23

sheet contents:
MISCELLANEOUS DETAILS

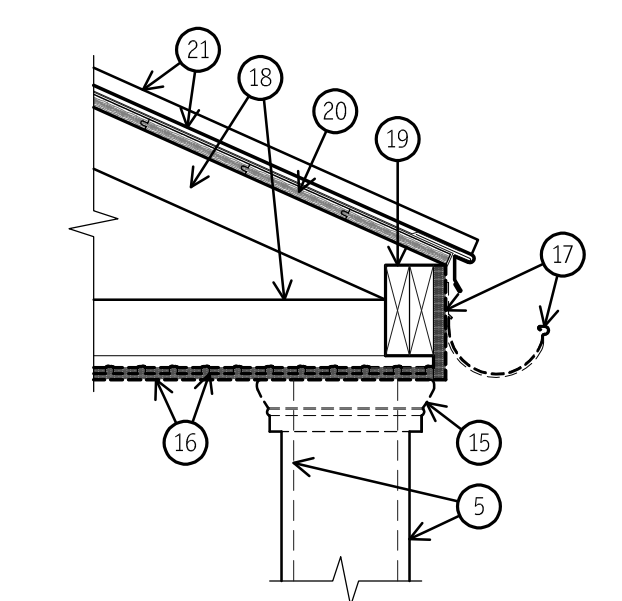
client and project address:
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 CARRIAGE HILL METROPARK
 111 EAST SHULL ROAD
 HUBER HEIGHTS, OHIO 45424

project title:
RENOVATE PORCHES
ARNOLD HISTORICAL FARM
 (ARNOLD HOUSE SOUTH & EAST PORCH)

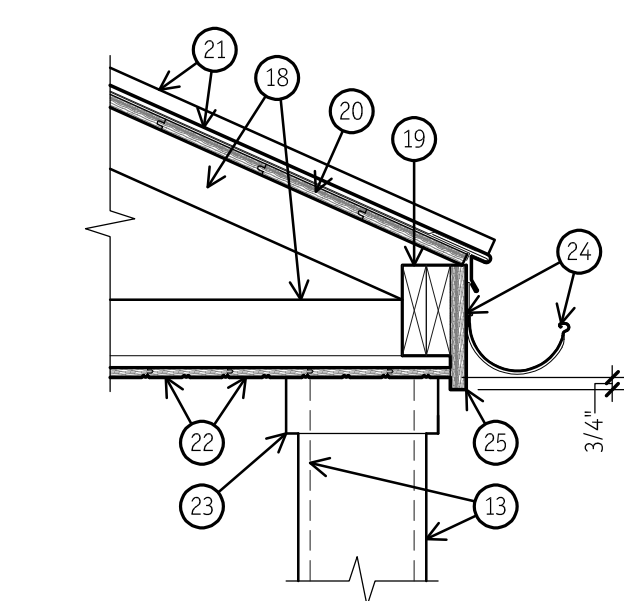
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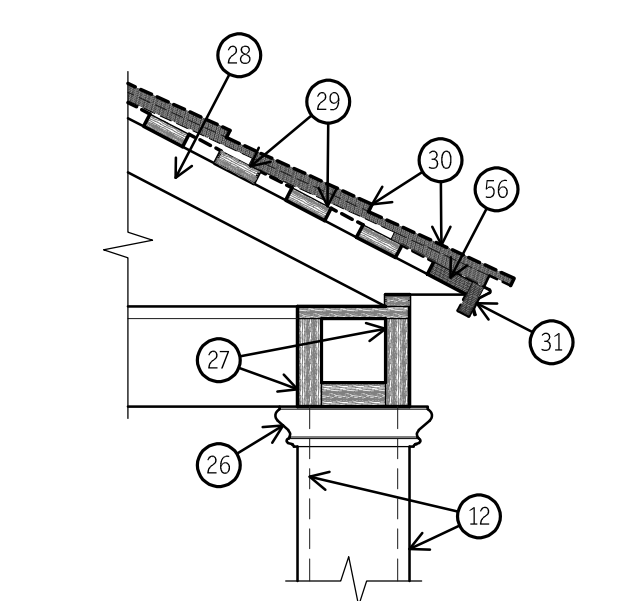
A-3



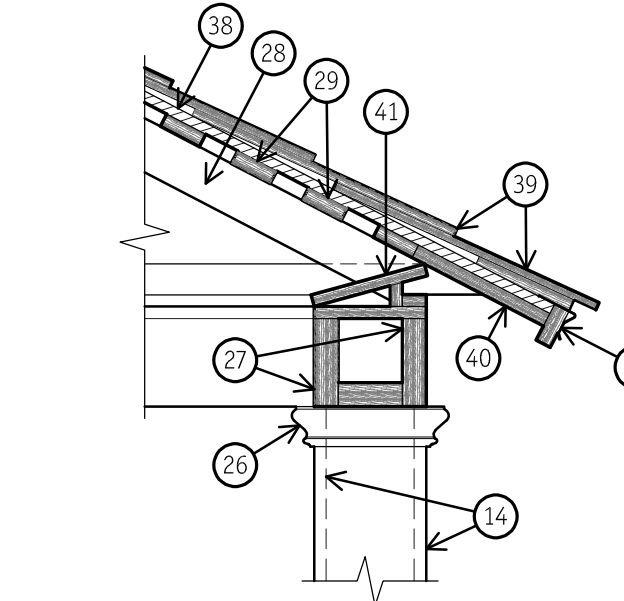
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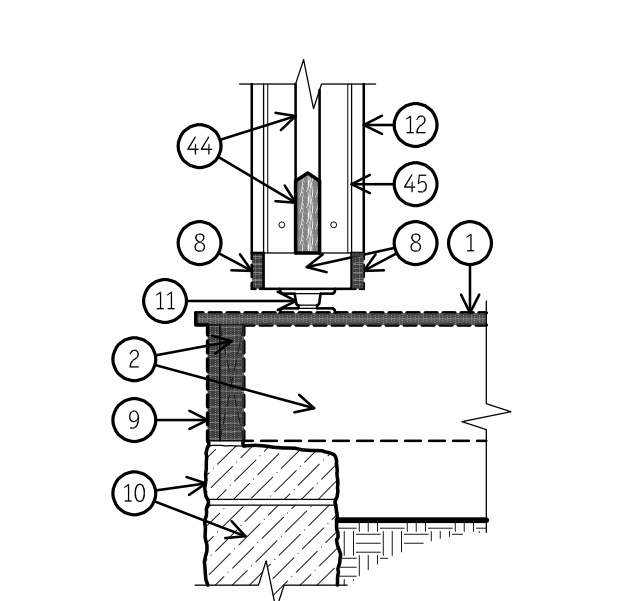
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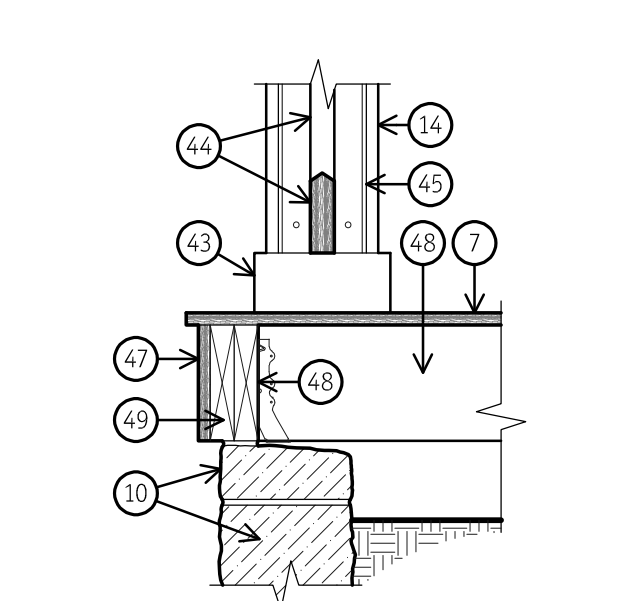
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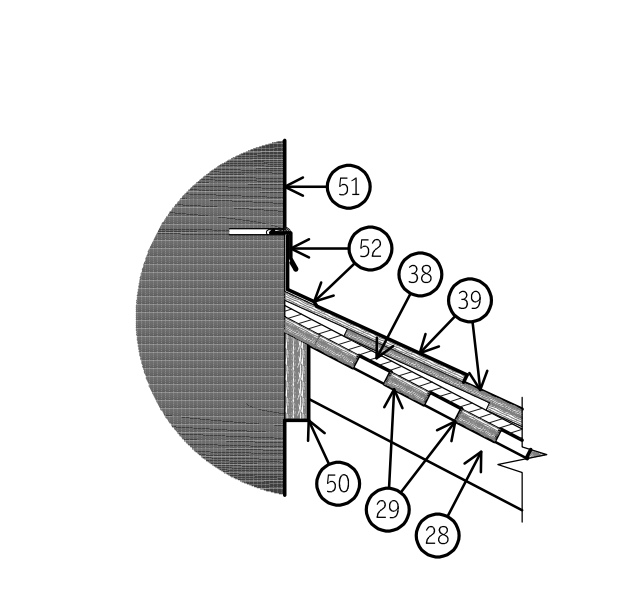
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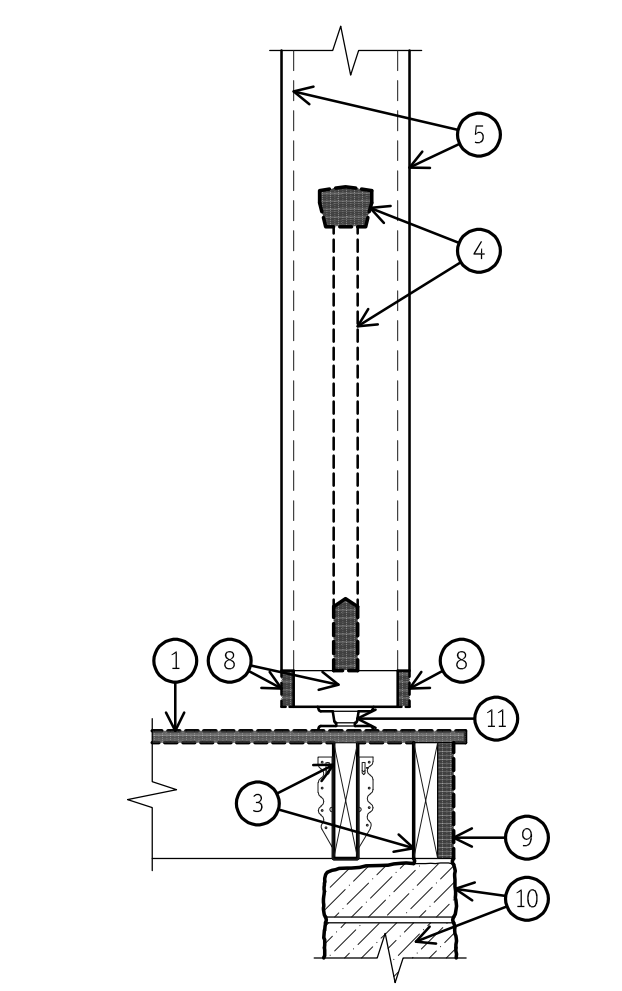
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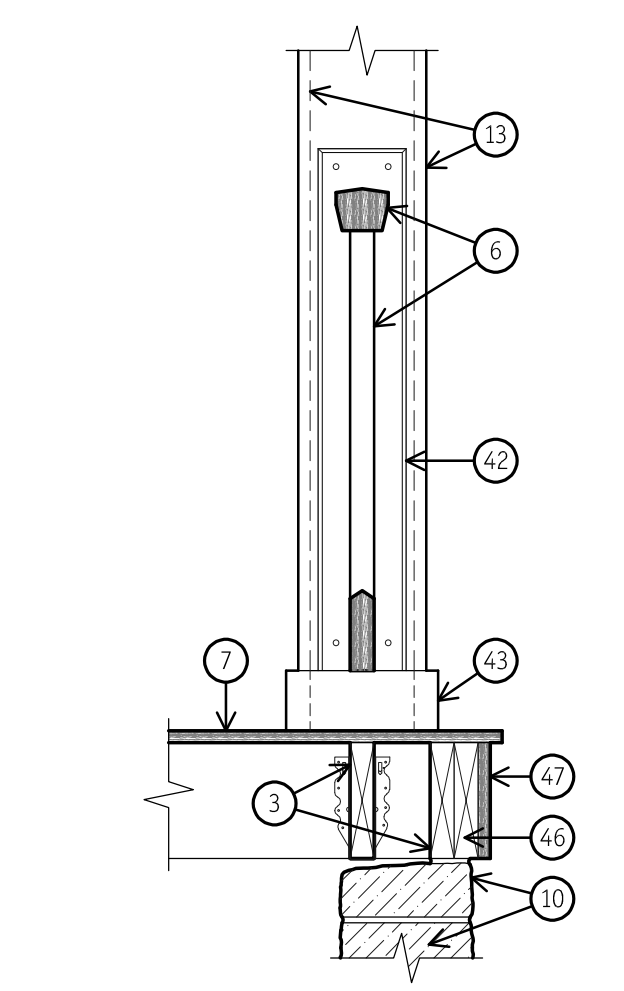
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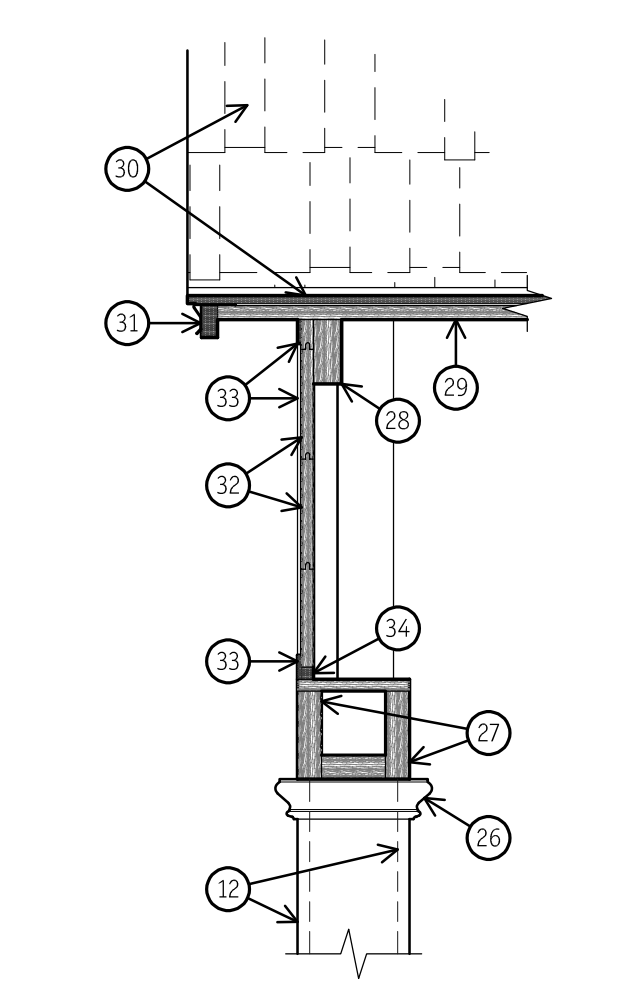
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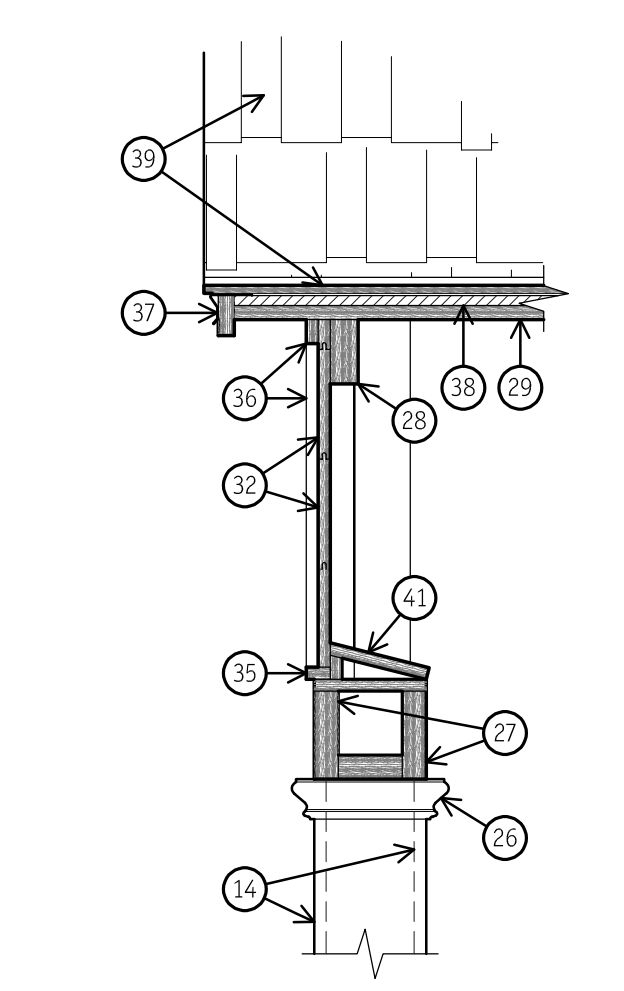
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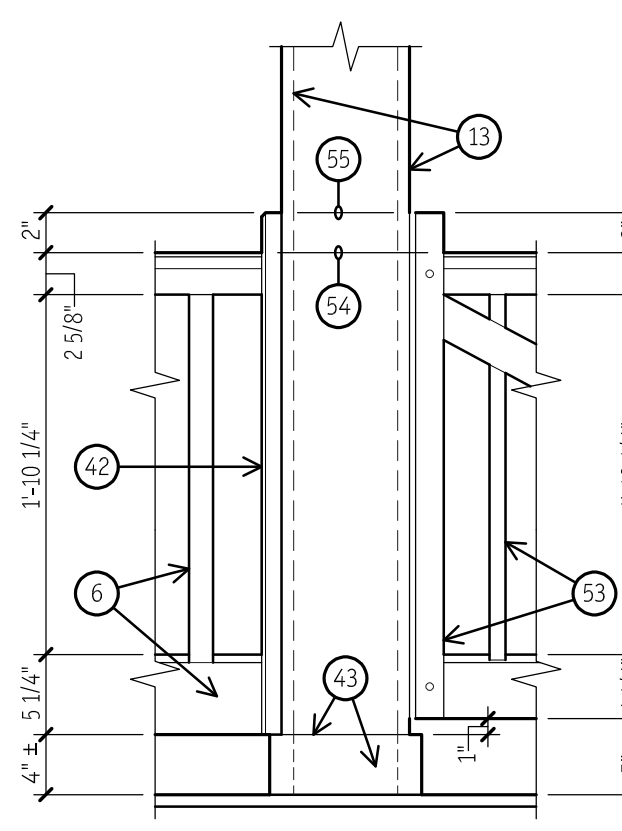
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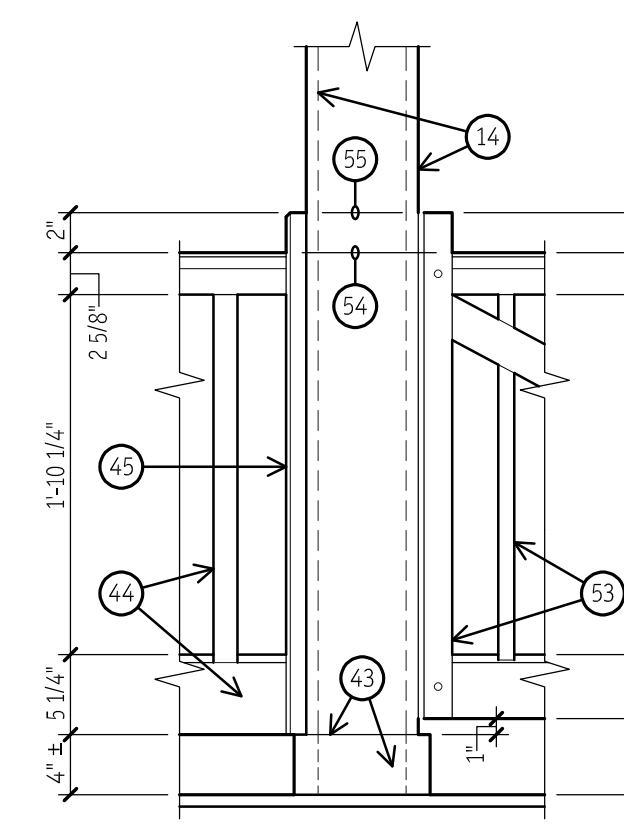
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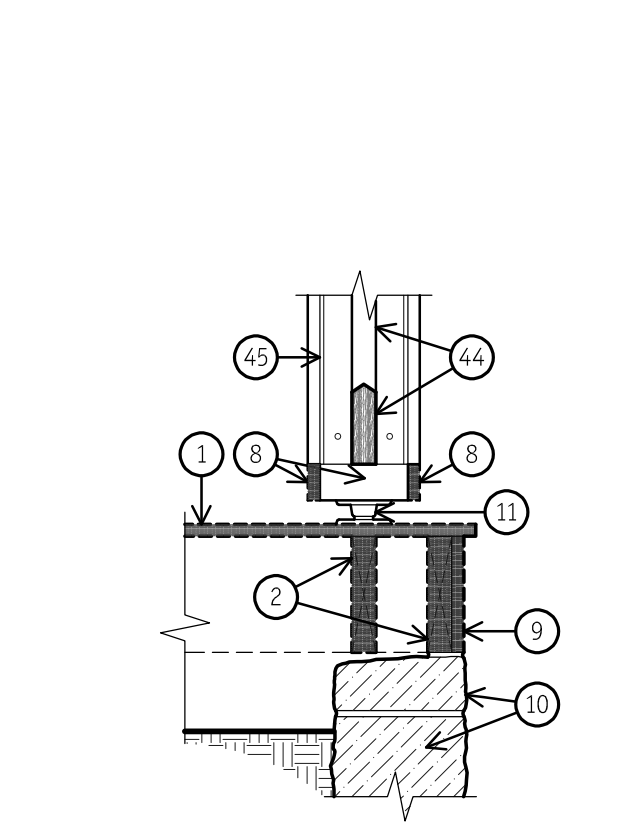
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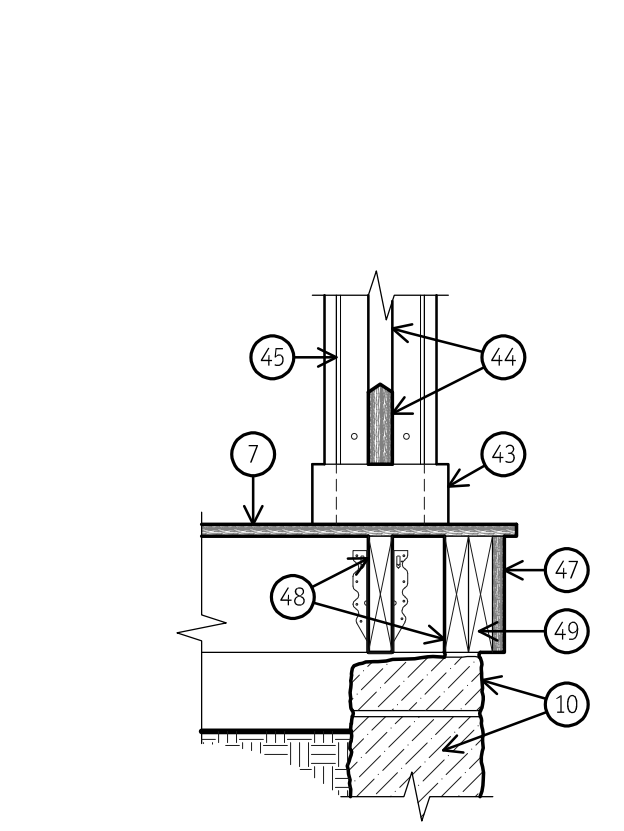
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4 PROPOSED DETAIL
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 GRAPHIC SCALE



7 DEMOLITION DETAIL
 SCALE: 1" = 1'-0"
 GRAPHIC SCALE



7 PROPOSED DETAIL
 SCALE: 1" = 1'-0"
 GRAPHIC SCALE

KEYED NOTES:

- 1 REMOVE EXISTING WOOD TONGUE & GROOVE FLOORING.
- 2 REMOVE EXISTING WOOD FLOOR JOIST FRAMING.
- 3 EXISTING PRESERVATIVE TREATED WOOD FLOOR JOIST FRAMING TO REMAIN.
- 4 REMOVE EXISTING WOOD GUARD-RAILING.
- 5 EXISTING WOOD POST TO REMAIN. REMOVE CAP TRIM AT TOP OF POSTS AND MODIFY POST BASE TO RECEIVE BASE TRIM.
- 6 NEW WOOD (WHITE OAK) GUARD-RAILING. SIZE, QUANTITY, CONFIGURATION, AND ASSEMBLY OF MATERIALS (RAILS, STILES, BALLUSTERS, ETC.) TO MATCH EXISTING RAILING WITH MINOR EXCEPTIONS.
- 7 RANDOM WIDTH TONGUE & GROOVE WOOD (WHITE OAK) FLOORING. REFER TO SPECIFICATIONS FOR MATERIAL AND FINISH INFORMATION.
- 8 CUT AND REMOVE BOTTOM PORTION OF 3/4" THICK WOOD TRIM (ON ALL SIDES) THAT WRAPS SOLID WOOD INTERIOR POST, AS REQUIRED TO RECEIVE NEW POLY-ASH BASE TRIM.
- 9 REMOVE EXISTING WOOD FACE TRIM.
- 10 EXISTING NATURAL STONE FOUNDATION WALL TO REMAIN.
- 11 EXISTING STEEL STANDOFF SUPPORT SECURED TO BOTTOM OF SOLID WOOD INTERIOR POST TO REMAIN.
- 12 EXISTING WOOD POST TO REMAIN. MODIFY POST BASE TO RECEIVE BASE TRIM.
- 13 EXISTING WOOD POST WITH NEW POLY-ASH BASE TRIM AND CAP TRIM. REFER TO SPECIFICATIONS FOR CLEANING, PAINTING, AND PREP REQUIREMENTS.
- 14 EXISTING WOOD POST WITH NEW POLY-ASH BASE TRIM. REFER TO SPECIFICATIONS FOR CLEANING, PAINTING, AND PREP REQUIREMENTS.
- 15 REMOVE EXISTING WOOD POST CAP TRIM.
- 16 REMOVE EXISTING PLASTER AND WOOD LATH CEILING.
- 17 REMOVE EXISTING FASCIA, HALF-ROUND GUTTER, AND SUPPORT BRACKETS.
- 18 EXISTING WOOD RAFTER AND CEILING JOIST FRAMING TO REMAIN. FURRING STRIPS ON BOTTOM OF JOISTS TO ALSO REMAIN.
- 19 EXISTING WOOD HEADER/BEAM TO REMAIN.
- 20 EXISTING WOOD PLANK ROOF SHEATHING TO REMAIN.
- 21 EXISTING STANDING SEAM METAL ROOF AND RAKE/FASCIA/APRON FLASHING TO REMAIN. REFER TO SPECIFICATIONS FOR CLEANING, PAINTING, AND PREP REQUIREMENTS.
- 22 NEW BEADED TONGUE & GROOVE WOOD (PAULOWNIA) CEILING. REFER TO SPECIFICATIONS FOR MATERIAL AND FINISH INFORMATION.
- 23 WRAP TOP OF EXISTING POST WITH NEW 1" X 4" (3/4" X 3 1/2") POLY-ASH TRIM.
- 24 NEW 6" HALF-ROUND GUTTER WITH FASCIA MOUNT SUPPORT BRACKETS @ 36" MAXIMUM SPACING.
- 25 NEW 5/4" X 8" (1" X 7 1/4") POLY-ASH FASCIA. CUT AS REQUIRED TO FIT.
- 26 EXISTING DECORATIVE WOOD CAP TRIM TO REMAIN. REFER TO SPECIFICATIONS FOR CLEANING, PAINTING, AND PREP REQUIREMENTS.
- 27 EXISTING WOOD BOX BEAM TO REMAIN. REFER TO SPECIFICATIONS FOR CLEANING, PAINTING, AND PREP REQUIREMENTS.
- 28 EXISTING WOOD RAFTER FRAMING TO REMAIN.
- 29 EXISTING WOOD SLATS TO REMAIN.
- 30 REMOVE EXISTING CEDAR SHAKES AND SHEET UNDERLAYMENT.
- 31 REMOVE EXISTING WOOD FASCIA/RAKE TRIM AND METAL EDGE FLASHING.
- 32 EXISTING TONGUE & GROOVE WOOD SIDING TO REMAIN. REFER TO SPECIFICATIONS FOR PAINTING AND PREP REQUIREMENTS.
- 33 REMOVE EXISTING WOOD LATTICE EDGE TRIM.
- 34 SAW-CUT AND REMOVE BOTTOM 3/4" OF EXISTING WOOD SIDING.
- 35 NEW 1" X 2" (3/4" X 1 1/2") POLY-ASH TRIM TUCKED IN BELOW EXISTING WOOD SIDING. CAULK JOINT BETWEEN SIDING AND TRIM.
- 36 NEW 1" X 2" (3/4" X 1 1/2") POLY-ASH SIDING PERIMETER EDGE TRIM.
- 37 NEW 5/4" X 3" (1" X 2 1/2") FASCIA/RAKE TRIM AND ALUMINUM EDGE FLASHING.
- 38 5/8" THICK PLYWOOD SHEATHING SECURED TO TOP OF EXISTING WOOD SLATS. BOTTOM SIDE OF PLYWOOD TO RECEIVE TWO COATS OF SOLID STAIN PRIOR TO INSTALLATION.
- 39 NEW SYNTHETIC CEDAR SHAKES INSTALLED OVER ICE & WATER SHIELD UNDERLAYMENT.
- 40 NEW 5/4" X 10" (1" X 9 1/4") EAVE EXTENSION SLAT (WHITE OAK) SECURED TO TOP OF EXISTING RAFTERS.
- 41 NEW 3/4" THICK POLY-ASH SLANTED SHELF TO DETER BIRD NESTS. WIDTH OF SHELF TO BE DETERMINED AS NEEDED TO PROVIDE 2" VERTICAL SLOPE FROM BACK TO FRONT.
- 42 NEW WOOD (WHITE OAK) GUARD-RAILING END PLATE TO SECURE NEW GUARD RAILING TO EXISTING POST. SIZE AND CONFIGURATION OF END PLATE TO MATCH EXISTING PLATES ON EAST PORCH.
- 43 NEW 1 1/2" THICK POLY-ASH BASE TRIM. WIDTH OF TRIM TO BE DETERMINED BY DISTANCE FROM BOTTOM RAIL TO TOP OF WOOD TONGUE & GROOVE FLOORING. CAULK JOINT WHERE EXISTING POST TRIM ABUTS TOP OF NEW BASE TRIM.
- 44 EXISTING WOOD GUARD-RAILING TO REMAIN. REFER TO SPECIFICATIONS FOR CLEANING, PAINTING, AND PREP REQUIREMENTS.
- 45 EXISTING WOOD GUARD-RAILING END PLATE TO REMAIN.
- 46 NEW PRESERVATIVE TREATED 2" X 8" SECURED TO SIDE OF EXISTING PERIMETER PORCH FLOOR FRAMING.
- 47 NEW 1" X 8" (3/4" X 7 1/4") POLY-ASH FACE TRIM.
- 48 NEW 2" X 8" PRESERVATIVE TREATED FLOOR FRAMING SYSTEM. NEW FLOOR JOISTS TO BE PLACED IN THE SAME QUANTITY, SPACING, AND LOCATION AS THE EXISTING REMOVED FRAMING MEMBERS.
- 49 NEW PRESERVATIVE TREATED 2" X 8" SECURED TO SIDE OF NEW REPLACEMENT PERIMETER PORCH FRAMING.
- 50 EXISTING WOOD RAFTER LEDGER BOARD TO REMAIN.
- 51 EXISTING BRICK MASONRY WALL TO REMAIN.
- 52 NEW METAL FLASHING AND REGLET COUNTER-FLASHING WHERE ROOF ABUTS BRICK WALL. RAKE OUT HORIZONTAL BRICK JOINT BELOW WINDOW SILL AS REQUIRED TO INSTALL REGLET COUNTER-FLASHING AND SEALANT.
- 53 NEW WOOD (WHITE OAK) GATE TO MATCH EXISTING GATE WITH MINOR EXCEPTIONS. REUSE EXISTING LATCH HARDWARE AND INSTALL TWO NEW HINGES.
- 54 TOP RAIL OF NEW GATE TO ALIGN WITH TOP RAIL OF NEW OR EXISTING GUARD-RAILING.
- 55 END STILES OF NEW GATE TO ALIGN WITH TOP OF NEW OR EXISTING GUARD-RAILING END PLATE.
- 56 REMOVE EXISTING BOTTOM WOOD SLAT. ALL OTHER SLATS TO REMAIN.

GENERAL NOTES:

- A. PROJECT DESCRIPTION:
 - * THE ARNOLD HOUSE, BUILT IN 1835, IS PART OF THE HISTORICAL FARMSTEAD COMPLEX LOCATED AT CARRIAGE HILL METROPARK. THE COMPLEX WAS LISTED ON THE NATIONAL REGISTER OF HISTORIC PLACES IN 1977 (DESIGNATION #77001077).
 - * THE ARNOLD HOUSE IS OPERATED AS A HISTORIC HOUSE MUSEUM STAFFED BY INDIVIDUALS COSTUMED IN 19TH CENTURY ATTIRE, THUS BEING CLASSIFIED AS AN ASSEMBLY GROUP A-3 OCCUPANCY.
 - * THE ARNOLD HOUSE IS OPEN TO THE PUBLIC FOR 5 HOURS FOUR DAYS A WEEK. DURING HOURS OF OPERATION, A STAFF INTERPRETER IS ALWAYS ON SITE. ONLY THE FIRST FLOOR OF THE HOUSE IS OPEN TO THE PUBLIC.
 - * BASED ON OBC TABLE 1004.1.2, THE ALLOWABLE OCCUPANCY IS 53 PEOPLE. IN REALITY, THE OCCUPANCY IS REGULATED BY THE NUMBER OF PEOPLE THE STAFF INTERPRETER CAN HANDLE AT ANY TIME, WHICH IS 15 OR FEWER PEOPLE.
 - * THE SCOPE OF WORK IS TO REPAIR AND REPLACE DETERIORATED COMPONENTS OF THE TWO EXISTING PORCHES, YET MAINTAIN THE HISTORICAL CHARACTER OF THE STRUCTURES. THERE IS NO CHANGE IN USE AND OCCUPANCY OF THE HOUSE AND RELATED PORCHES.
 - * ALTHOUGH HANDRAILS WERE NOT PART OF THE ORIGINAL HISTORIC PORCH STRUCTURES, THEY HAVE BEEN ADDED TO COMPLY WITH OBC 1011.11. THE HANDRAIL DESIGN COMPLIES WITH THE TECHNICAL REQUIREMENTS OF OBC 1014 AS CLOSELY AS POSSIBLE GIVEN THE RESTRICTIONS IMPOSED BY SOME OF THE HISTORIC PORCH ELEMENTS, AND PROVIDES A DEFINITE IMPROVEMENT TO THE CURRENT SITUATION.
 - * ALL HANDRAILS AND GUARDS ARE DESIGNED TO COMPLY WITH OBC 1607.8.1.
 - * FLOOR ASSEMBLY LIVE LOAD = 100 PSF.